

The City of Mountain Home is seeking public comment for increased funding from the Land and Water Conservation Fund (LWCF) through Idaho Parks and Recreation in the form of a grant. This grant request is for the Mountain Home Aquatics Facility Increase. The request is a \$500,000 increase to the already awarded grant of \$750,000 in 2021. With this increased request, the city will be able to begin construction on the swimming pool this spring and open in 2023. If you have any comments or questions, please contact Jamie McDaniel at <u>imcdaniel@mountain-home.us</u>. Information will be provided upon request. The public comment period is from January 20 – January 27th.

Mountain Home Aquatic Facility 100% SCHEMATIC DESIGN

DECEMBER 22, 2020 20-031



PROJECT CONTACT INFORMATION

CITY OF MOUNTAIN HOME 160 SOUTH 3RD EAST

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CIVIL THE LAND GROUP 462 E. SHORE DR., SUITE100 EAGLE, ID 83616

CONTACT PHONE contact email

LANDSCAPE THE LAND GROUP 462 E. SHORE DR., SUITE100 EAGLE, ID 83616

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PLUMBING MUSGROVE ENGINEERING 234 S WHISPERWOOD WAY, BOISE, ID 83709

BILL CARTER, P.E., CxA 208.384.0585 billc@musgrovepa.com

ELECTRICAL

MUSGROVE ENGINEERING 234 S WHISPERWOOD WAY, BOISE, ID 83709

KURT LECHTENBERG, P.E., LEED A.P. 208.384.0585 KurtL@musgrovepa.com



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PROJECT INFORMATIOI

Mountain Home

Mountain Home **Aquatic Facility**

160 SOUTH 3RD EAST MOUNTAIN HOME, ID 83647

KEY PLAN

ISSUES			
PHASE		100% SCHEMATIC DESIGN	
DATE		DECEMBER 22, 2020	
JOB NUMBER		20-031	
MARK	DATE	DESCRIPTION	

SHEET NAME

COVER SHEET

SHEET NUMBER



-

> TERRACON 11849 W. EXECUTIVE DR., SUITE G BOISE, ID 83713

BERNIE ROGERS 858.248.5121 bernie.rogers@terracon.com

AQUATIC ENGINEER

VICINITY MAP





PROJECT INFORMATION

ADDRESS: 160 SOUTH 3RD EAST MOUNTAIN HOME, ID 83647

PROPERTY DESCRIPTION: RECREATIONAL FACILITY THAT HOSTS ACTIVITIES LIKE LAP SWIMMING, PADDLEBOARD YOGA, AQUA AEROBICS, SWIM MEET, SWIM LESSONS AND OTHER WATER ACTIVITIES. THE FACILITY HAS AREAS FOR ADMISSIONS AND CONCESSION SALES, STAFF AREA/ FIRST AID ROOM, TWO BATHROOM/CHANGING ROOM FACILITIES, TEMPORARY EQUIPMENT SHED, FILTRATION AND BOILER ROOM.

PARCEL NUMBER:

LOT SIZE:

NUMBER OF STORIES: 1

SQUARE FOOTAGE:

CONSTRUCTION TYPE:

OCCUPANCY:

LAND USE CODE:

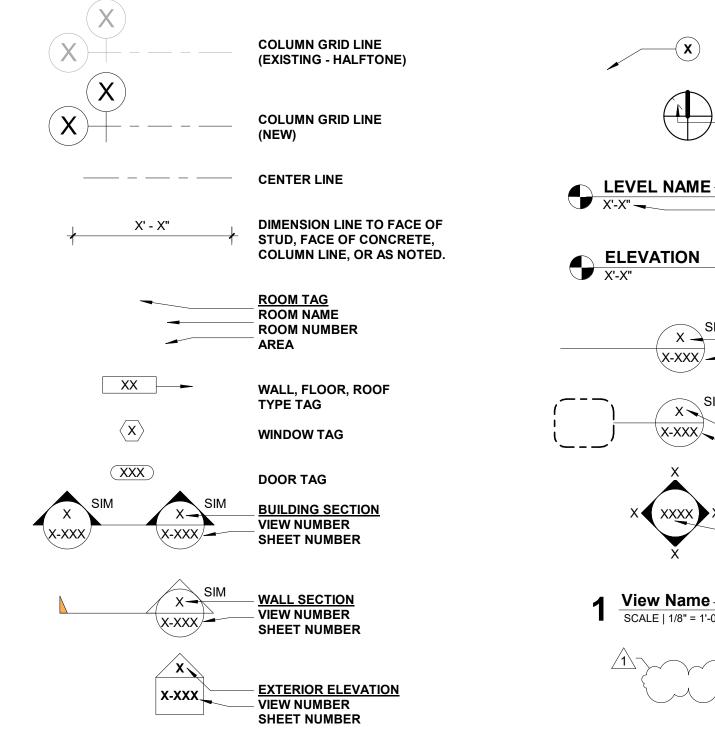
FIRE SPRINKLERS:

MATERIALS

CONCE GRANU CONCE BRICK RIGID ACOUS INSULA (SECTIC STUD EXISTI (PLAN DEMO STEEL ALUMI WOOD DIMEN CONTIN DIMEN BLOCKI

EARTH

ARCHITECTURAL SYMBOLS



RETE (SECT	ΓΙΟΝ)		
ULAR FILL			
RETE MASC	ONRY UNITS		
,			
INSULATIO	N (SECTION)		
STIC/THERN ATION ION)	IAL		
WALL (PLA	N & SECTION)		
NG WALL T & SECTION			
WALL (PLA	N & SECTION)		
. (SECTION)			
NUM (SECT	ION)		
- FINISH (S	ECTION)		
ISIONAL LU INUOUS (SE			
ISIONAL LUMBER KING (SECTION)			
IWORK (SECTION)			
X	KEYNOTE		
	NORTH ARROW TRUE NORTH		
<u>AME</u>	<u>LEVEL DATUM</u> LEVEL NAME LEVEL ELEVATION		
ON	SPOT ELEVATION		
X SIM	<u>DETAIL - SECTION</u> VIEW NUMBER SHEET NUMBER		
<u></u>			

DETAIL - PLAN VIEW NUMBER SHEET NUMBER

INTERIOR ELEVATION VIEW NUMBER SHEET NUMBER

View Name — <u>VIEW TITLE</u> SCALE | 1/8" = 1'-0" - DRAWING NAME DRAWING SCALE

DRAWING REVISION

ABBREVIATIONS

ANODIZED ALUMINUM

AA

AB

ACT

AFF

BD

BM

BO

BOT

CJ

CL

CLR

CMU

COL

CONC

CONN

CONT

CTR

DBL

DIA

DIAG

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(E)

EA

EJ

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GALV

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HORIZ

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TOW

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VCT

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W

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WD

WO

WP

WRB

WS

WΤ

WWF

SPEC

MECH

DWG

CFCI

BLDG

APPROX

ANCHOR BOLT ACOUSTIC CEILING TILE ABOVE FINISH FLOOR ALUM or AL ALUMINUM APPROXIMATELY BOARD BUILDING BEAM BOTTOM OF BOTTOM CONTRACTOR-FURNISHED CONTRACTOR-INSTALLED CONTROL/CONSTRUCTION JOINT CENTER LINE CLG or CLNG CEILING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONNECTION CONTINUOUS CENTER DEMOLISH or DEMOLITION (D) or DEMO DOUBLE DIAMETER DIAGONAL DIMENSION DOWN DO OVER / REPEAT DOWNSPOUT DRAWING EXISTING EACH **EXPANSION JOINT** ELEVATION EMBED or EMBEDDED or EMBEDMENT EQUAL **EXPANSION** FUTURE FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FACE FINISH FLOOR FACE OF BRICK FACE OF CONCRETE FACE OF FOUNDATION or FACE OF FINISH FACE OF MASONRY FACE OF STUD FOOT or FEET GAUGE GALVANIZED GB or GYP. BD. GYPSUM BOARD GYPSUM WALL BOARD GYPSUM HIGH HOSE BIB HOLLOW METAL HORIZONTAL HEIGHT INSIDE DIAMETER INSULATION JOINT LONG MAXIMUM MECHANICAL MFR or MANUF. MANUFACTURER MINIMUM, MINUTES MASONRY OPENING MTL or MET METAL NEW NOT APPLICABLE NOT IN CONTRACT NUMBER NOTE NOT TO SCALE ON CENTER OUTSIDE DIAMETER OWNER-FURNISHED CONTRACTOR-INSTALLED OWNER-FURNISHD OWNER-INSTALLED OPENING OPPOSITE PLATE PROJECTION PRESSURE TREATED or POINT RELOCATED RISER RADIUS ROOF DRAIN REFERENCE TO REFERENCE **REINFORCEMENT or REINFORCED** REQ or RQMT REQUIREMENT REQUIRED **ROUGH OPENING** SECTION SHEET SIMILAR SPECIFICATION SQUARE STANDARD STRUCTURAL THERMOSTAT TOP OF TOP OF CURB TOP OF JOIST TOP OF STEEL TOP OF WALL TYPICAL UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE VERTICAL WIDE WITH WOOD WIDTH OF OPENING WEATHERPROOF WEATHER RESISTIVE BARRIER WORKSURFACE WEIGHT WELDED WIRE FABRIC

GENERAL NOTES

- A. GENERAL PROJECT NOTES APPLY TO ALL SHEETS & SPECIFICATIONS. CONTRACTOR AND SUB-CONTRACTORS ARE TO REVIEW ALL CONTRACT DOCUMENTS AND COORDINATE THEIR SCOPE OF WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS. INFORMATION COMMON TO SEVERAL DRAWINGS MAY BE NOTED ON ONLY ONE. CONTRACTOR IS **RESPONSIBLE FOR ENTIRE SET OF DOCUMENTS.**
- B. IF INFORMATION ON SEPARATE SHEETS, DETAILS OR SPECIFICATIONS INDICATE CONFLICTING INFORMATION, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY BEFORE BIDS ARE FINALIZED TO CLARIFY SCOPE OF WORK. IF THE SCOPE OF WORK REMAINS UNCLEAR THEN THE CONTRACTOR OR SUB-CONTRACTOR IS INSTRUCTED TO PRICE AND PROVIDE THE MOST EXPENSIVE SCOPE OF WORK OPTION IN THEIR BID.
- C. COORDINATE CONSTRUCTION ACTIVITY WITH PROJECT SPECIFICATIONS. ALL SPECIFICATIONS, REFERENCED IN DRAWINGS OR NOT, SHALL BE PART THIS PROJECTS SCOPE OF WORK. MISNUMBERED (OR MISLABELED) SPECIFICATIONS OR REFERENCES ARE ALSO PART OF THIS PROJECTS SCOPE OF WORK AND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE TO INCORPORATE ALL SPECIFICATIONS INTO THE PROJECTS SCOPE OF WORK.
- D. ALL BUILDING COMPONENTS & PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER INTENDED USE AND WRITTEN RECOMMENDATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO: REQUIRED CLEARANCES, REQUIRED ATTACHMENT TECHNIQUES, FASTENING METHODS & APPROVED SUBSTRATES. CONTACT ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH INSTALLATION OF COMPONENTS THAT DO NOT MEET THE MANUFACTURER'S **RECOMMENDATIONS.**
- E. WHEN APPLICABLE, PROTECT ITEMS THAT ARE TO BE SALVAGED TO THE OWNER. THESE INCLUDE BUT NOT LIMITED TO: WINDOWS, FRAMES, LIGHT FIXTURES, CEILING COMPONENTS, EQUIPMENT, MILLWORK, FIRE EXTINGUISHERS, CABINETS, AND CARPET. COORDINATE LOCATION AND TIME OF DELIVERY OF ITEMS TO BE RETURNED WITH THE OWNER.
- F. WHERE APPLICABLE, ADJUST AND SUPPLEMENT EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED TO COMPLY WITH APPLICABLE FIRE CODE. FIELD VERIFY EXISTING LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- G. SCREEN MECHANICAL SYSTEMS FROM TRANSFERRING DUST AND DEBRIS FROM PROJECT AREA TO THE REMAINDER OF THE BUILDING.
- H. DO NOT SCALE DRAWINGS. IF SPECIFIC DIMENSIONS ARE NEEDED CONSULT ARCHITECT. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO ARCHITECT FOR RESOLUTION. ALL DIMENSIONS ARE FROM GRIDLINE TO FACE OF STUD, FACE OF CONCRETE, CENTER OF COLUMN OR STEEL, ETC. UNLESS NOTED AS CLEAR. CLR OR OTHERWISE.
- I. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- J. PROVIDE ADEQUATELY SIZED WALL BACKING, BLOCKING, ATTACHMENT PLATES, ANCHORS OR FASTENERS FOR ALL WALL MOUNTED BUILDING COMPONENTS, SUCH AS BUT NOT LIMITED TO MILLWORK, BATHROOM ACCESSORIES, HANDRAILS, LADDERS, SHELVING & ELECTRONIC DEVICES. WHERE SIZE AND TYPE OF ATTACHMENTS ARE NOT INDICATED, VERIFY SIZE AND TYPE **REQUIRED WITH ARCHITECT FOR LOAD CONDITIONS.**
- K. THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION. WORK THAT IS NOT SPECIFICALLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
- L. SUBCONTRACTORS FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THEIR WORK MAY OCCUR IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS. ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING DOCUMENTS.
- M. WHERE NO MATERIAL NOTES OCCUR, THE GRAPHIC MATERIAL INDICATION SHALL INDICATE MATERIAL TYPES AND ITEMS. SEE SYMBOL AND MATERIALS LIST ON THIS SHEET.
- N. THE U. S. ENVIRONMENTAL PROTECTION AGENCY MUST BE NOTIFIED 10 WORKING DAYS IN ADVANCE FOR ALL RENOVATIONS THAT DISTURB 260 L.F. /160 SQ. FT. /35 CU. FT. OF ASBESTOS CONTAINING MATERIALS.
- O. ALL NEW CONSTRUCTION TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
- P. UNLESS OTHERWISE INDICATED ALL DRAWINGS, NOTES WHICH DO NOT READ "N.I.C." "EXISTING", OR "EXISTING TO REMAIN", OR "BY OTHERS" SHALL INDICATE NEW WORK WHICH SHALL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED.
- Q. THE CONTRACTOR(S) SHALL KEEP ALL AREAS OF CONSTRUCTION CLEAN AND FREE OF DEBRIS AFTER CONSTRUCTION IS COMPLETE, THE GENERAL CONTRACTOR SHALL PROVIDE FINAL CLEAN UP. ENFORCE REQUIREMENTS STRICTLY. DISPOSE OF MATERIALS LAWFULLY.
- R. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS FOR ACCURACY PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- S. FIELD MEASUREMENTS: TAKE FIELD MEASUREMENTS AS REQUIRED TO FIT THE WORK PROPERLY. RECHECK MEASUREMENTS BEFORE INSTALLING EACH PRODUCT. WHERE PORTIONS OF THE WORK ARE INDICATED TO FIT TO OTHER CONSTRUCTION, VERIFY DIMENSIONS OF OTHER CONSTRUCTION BY FIELD MEASUREMENTS BEFORE FABRICATION. COORDINATE FABRICATION SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAYING THE WORK.
- T. THIS PROJECT MAY NOT BE OCCUPIED UNTIL IT RECEIVES A CERTIFICATE OF OCCUPANCY AND FIRE DEPARTMENT APPROVAL FROM GOVERNING JURISDICTION.
- U. COORDINATE STRUCTURAL, MECHANICAL, ELECTRICAL, AND FIRE PROTECTION REQUIREMENTS, ROUTING, AND FIELD VERIFY.
- V. WHERE NEW CONSTRUCTION JOINS WITH EXISTING CONSTRUCTION, ALIGN FINISHED SURFACE OF NEW CONSTRUCTION WITH EXISTING CONSTRUCTION.
- W. WHEN REQUIRED PROVIDE COPY OF FIRE-RESISTANCE RATING ASSEMBLIES TO THE STRUCTURAL INSPECTOR FOR VERIFICATION OF TESTING/LISTING COMPLIANCE AND TO INSPECT ASSEMBLY CONSTRUCTION THEREWITH.
- X. ALL CONSTRUCTION ADDENDA, CHANGE ORDERS, OR DESIGN CLARIFICATIONS TO THOSE ITEMS REGULATED BY THE CODES MUST BE SUBMITTED TO THE FIELD INSPECTOR FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH ANY OF THE PROPOSED WORK RELATED TO THE PROPOSED FIELD CHANGE.
- Y. EXAMINATION AND ACCEPTANCE OF CONDITIONS: BEFORE PROCEEDING WITH EACH COMPONENT OF THE WORK, EXAMINE SUBSTRATES, AREAS, AND CONDITIONS WITH INSTALLER OR APPLICATOR PRESENT WHERE INDICATED, FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE. RECORD **OBSERVATIONS.**
- Z. EXAMINE ROUGHING-IN FOR MECHANICAL AND ELECTRICAL SYSTEMS TO VERIFY ACTUAL LOCATIONS OF CONNECTIONS BEFORE EQUIPMENT AND FIXTURE INSTALLATION. EXAMINE WALLS, FLOORS, AND ROOFS FOR SUITABLE CONDITIONS WHERE PRODUCTS AND SYSTEMS ARE TO BE INSTALLED. VERIFY COMPATIBILITY WITH AND SUITABILITY OF SUBSTRATES, INCLUDING COMPATIBILITY WITH EXISTING FINISHES OR PRIMERS.
- AA. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. PROCEEDING WITH THE WORK INDICATES ACCEPTANCE OF SURFACES AND CONDITIONS.
- BB. MAKE JOINTS OF UNIFORM WIDTH. WHERE JOINT LOCATIONS IN EXPOSED WORK ARE NOT INDICATED, ARRANGE JOINTS FOR THE BEST VISUAL EFFECT. FIT EXPOSED CONNECTIONS TOGETHER TO FORM HAIRLINE JOINTS.
- CC. GRAPHIC PATTERNS OR HATCHES SHOWN IN DRAWINGS REPRESENT CONSTRUCTION MATERIALS AND ARE NOT TO BE USED AS LITERAL CONSTRUCTION GUIDELINES. CONTRACTOR IS TO COORDINATE ALL MATERIAL LAYOUT PRIOR TO CONSTRUCTION AND PROVIDE WORK BASED ON MANUFACTURES RECOMMENDATIONS AND STANDARD CONSTRUCTION TECHNIQUES. IF QUESTIONS ARISE CONTACT ARCHITECT FOR INTERPRETATION PRIOR TO CONSTRUCTION.
- DD. UNLESS NOTED OTHERWISE CONSTRUCT CASEWORK PER STANDARDS ESTABLISED BY THE ARCHITECTURAL WOODWORK STANDARDS MOST CURRENT ADDITION. CONSTRUCT PER CUSTOM FINISH DESIGN STANDARDS.
- EE. THE CONTRACTOR IS RESPONSIBLE FOR BUILDING PERSUANT TO ALL BUILDING CODES IN EFFECT AND TO THE AUTHORITIES HAVING JURISTICTION AS OF THE TIME OF PERMIT ISSUANCE

SHEET INDEX

GENERAL

01 CIVIL

08 AQUATIC

GENERAL				
	00	GENERAL	G0.00	COVER SHEET
	00	GENERAL	G0.01	SHEET LEGEND & PROJECT INFORMATION
	00	GENERAL	G0.02	ACCESSIBILITY CLEARANCES & REQUIREMENTS
CIVIL				
	01	CIVIL	C1.00	SCHEMATIC DESIGN EXISTING CONDITION

C2.00 SCHEMATIC DESIGN SITE PLAN ARCHITECTURAL

04 ARCHITECTURAL A0.00 SITE PLAN 04 ARCHITECTURAL A1.01 FLOOR PLAN 04 ARCHITECTURAL A2.61 REFLECTED CEILING PLAN/ROOF PLAN 04 ARCHITECTURAL A4.00 EXTERIOR ELEVATIONS - OVERALL AQUATIC

08 AQUATIC SP0.0 COVER SHEET 08 AQUATIC SP1.1 SWIMMING POOL LAYOUT PLAN 08 AQUATIC

SP1.2 SWIMMING POOL SECTIONS SP4.0 POOL EQUIPMENT ROOM PLAN



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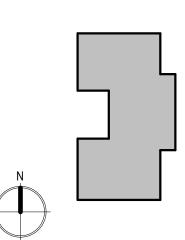
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PROJECT INFORMATION

Mountain Home **Aquatic Facility**

160 SOUTH 3RD EAST MOUNTAIN HOME, ID 83647

KEY PLAN



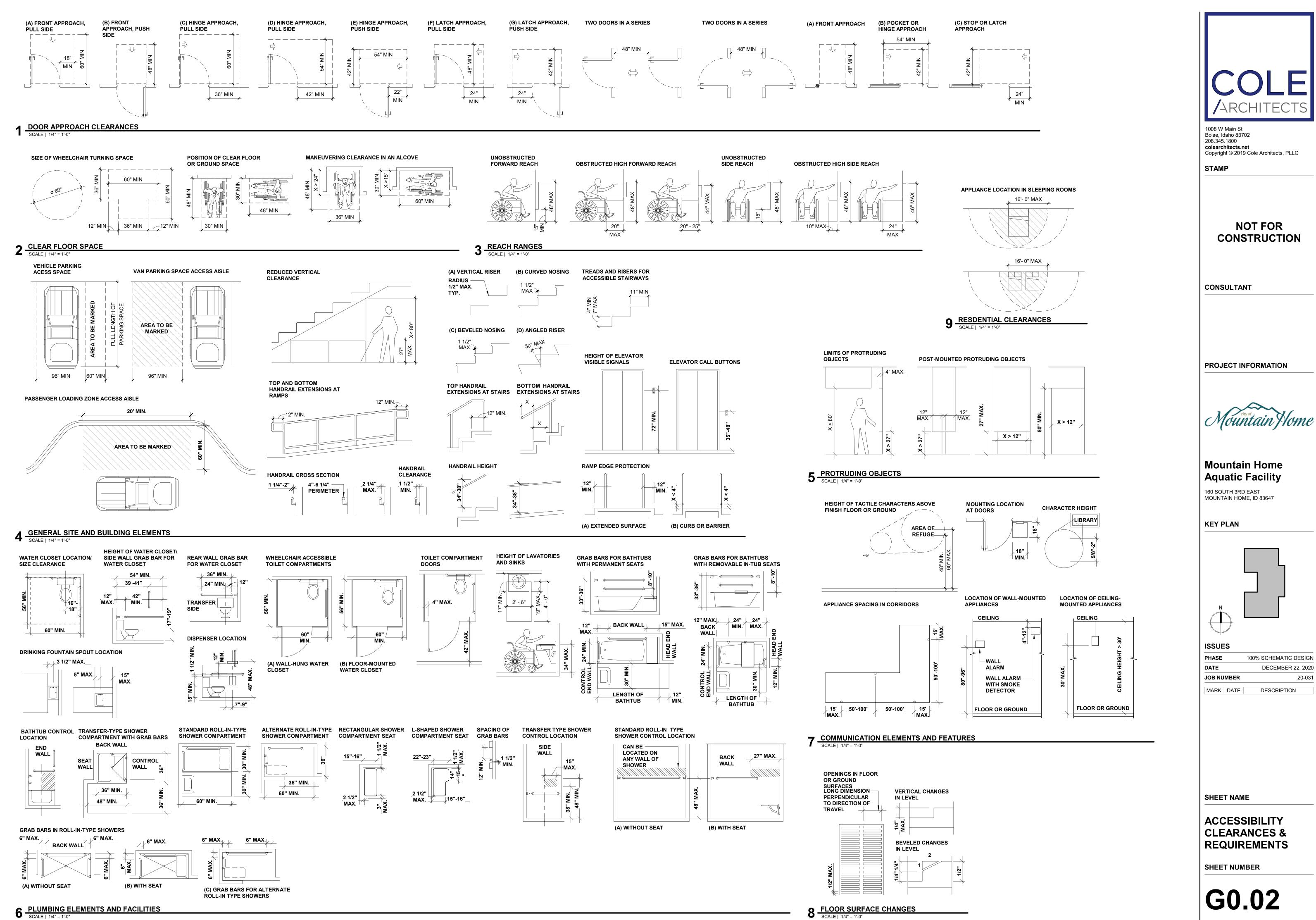
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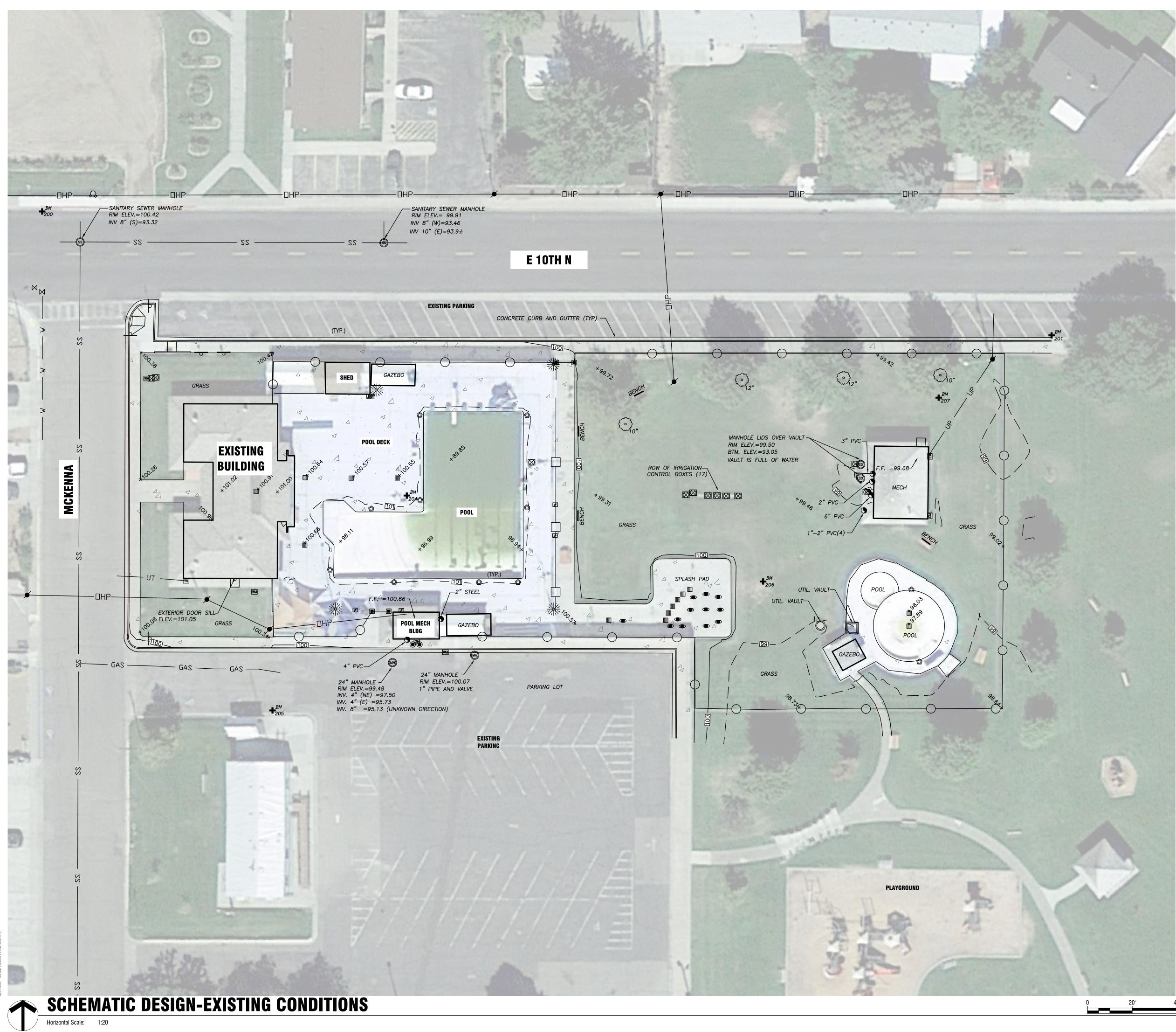
100% SCHEMATIC DESIGN PHASE DATE DECEMBER 22, 2020 JOB NUMBER 20-031 MARK DATE DESCRIPTION

SHEET NAME

SHEET LEGEND & PROJECT INFORMATION







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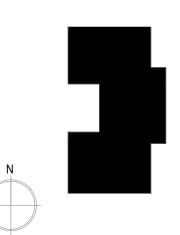
PROJECT INFORMATION

Home

Mountain Home Aquatic Facility

160 SOUTH 3RD EAST MOUNTAIN HOME, ID 83647

KEY PLAN



ISSUES

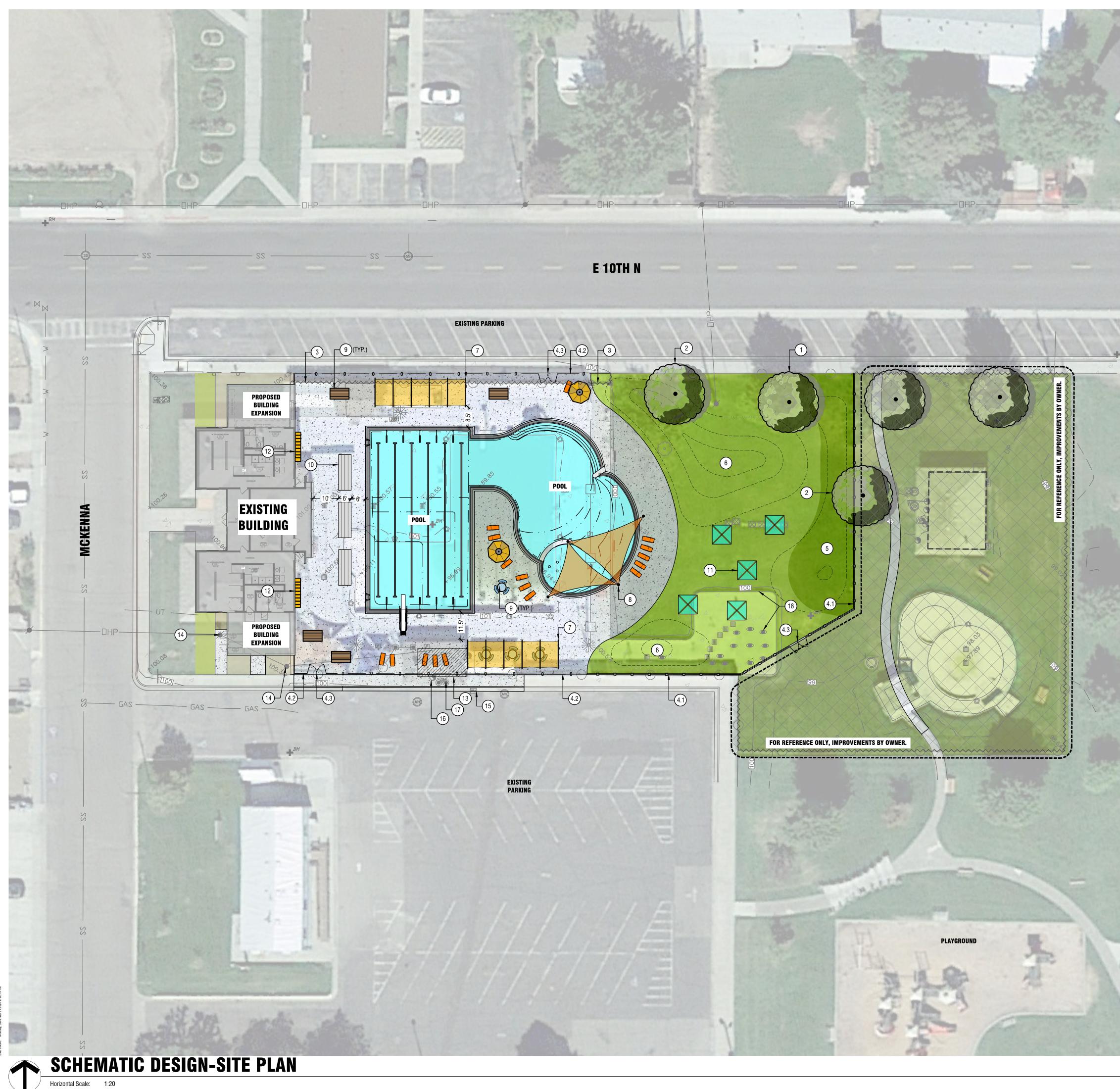
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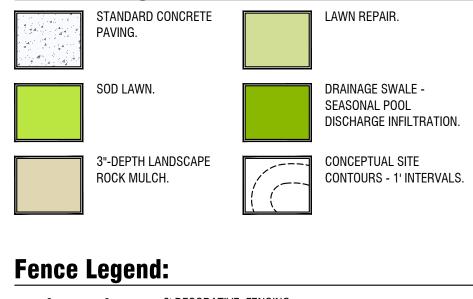
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SCHEMATIC DESIGN EXISTING CONDITIONS SHEET NUMBER





Material Legend:



<u> </u>	8' DECORATIVE FENCING
_ooo	8' CHAIN LINK FENCE
O	EXISTING 8' CHAIN LINK FENCE
~~~ <i>Q</i> ~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	REMOVE 8' CHAIN LINK FENCE

#### **Curb and Gutter Legend:** ROLLED CURB.

#### Keynotes:

_____

### CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW. EXISTING TREE, RETAIN & PROTECT.

- PROPOSED TREE.
- 2. PROPOSED TREE.
   3. REMOVE AND DISPOSE OF EXISTING CHAIN LINK FENCE.
   4. PROPOSED CHAIN LINK FENCE.
   4.1. STANDARD, INSTALL WITH 8" RIBBON CURB AT LANDSCAPE AREAS.
   4.2. DECORATIVE SLATS OR EQUAL.
   4.3. 8' WIDE DOUBLE SWING GATE.

  5. SEASONAL DOOL DRAINAGE INFILITRATION SWALE

- 5. SEASONAL POOL DRAINAGE INFILTRATION SWALE. LANDSCAPE BERM.
- PREFABRICATED SHADE STRUCTURE.
- SHADE SAIL.
- MOVABLE POOL DECK FURNITURE FOR REFERENCE ONLY, BY OWNER.
- 10. MOVABLE BLEACHERS FOR REFERENCE ONLY, BY OWNER. 11. TEMPORARY POP-UP ATHLETE TENT, FOR REFERENCE ONLY.
- 12. STORAGE CUBBIES MOUNTED TO BUILDING.
- 13. REMOVE AND DISPOSE OF EXISTING POOL EQUIPMENT BUILDING, RELOCATE AND REUSE EQUIPMENT PER POOL PLANS.
- 14. REMOVE EXISTING POWER POLE AND RELOCATE POWER SERVICE. COORDINATE WITH ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 15. REROUTE WATER SERVICE TO NEW POOL EQUIPMENT AS REQUIRED. COORDINATE WITH PLUMBING DRAWINGS FOR MORE INFORMATION.
- REROUTE EXISTING SANITARY SEWER SERVICE TO NEW POOL EQUIPMENT LOCATION AS REQUIRED. COORDINATE WITH PLUMBING DRAWINGS FOR MORE INFORMATION.
   RELOCATE EXISTING GAS SERVICE TO BUILDING ADDITION. REFER TO ENGINEERING
- DRAWINGS FOR MORE INFORMATION. 18. REMOVE AND DISPOSE OF EXISTING SPLASH PAD CONCRETE DECK, EQUIPMENT AND ASSOCIATED INFRASTRUCTURE. CAP UTILITIES AS REQUIRED.

<u>_____</u>



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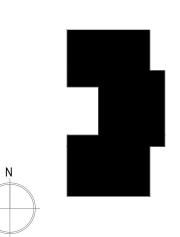
**PROJECT INFORMATION** 



#### **Mountain Home Aquatic Facility**

160 SOUTH 3RD EAST MOUNTAIN HOME, ID 83647

**KEY PLAN** 



#### ISSUES

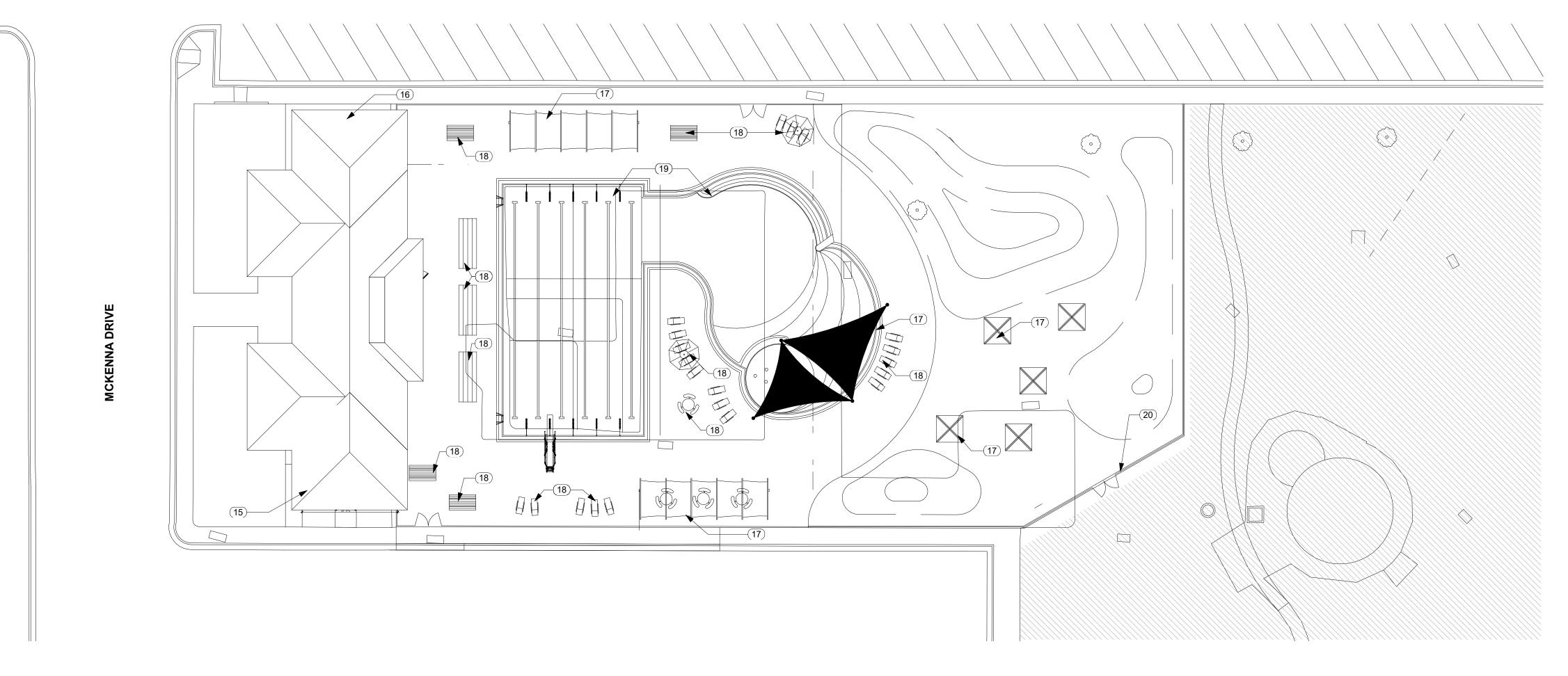
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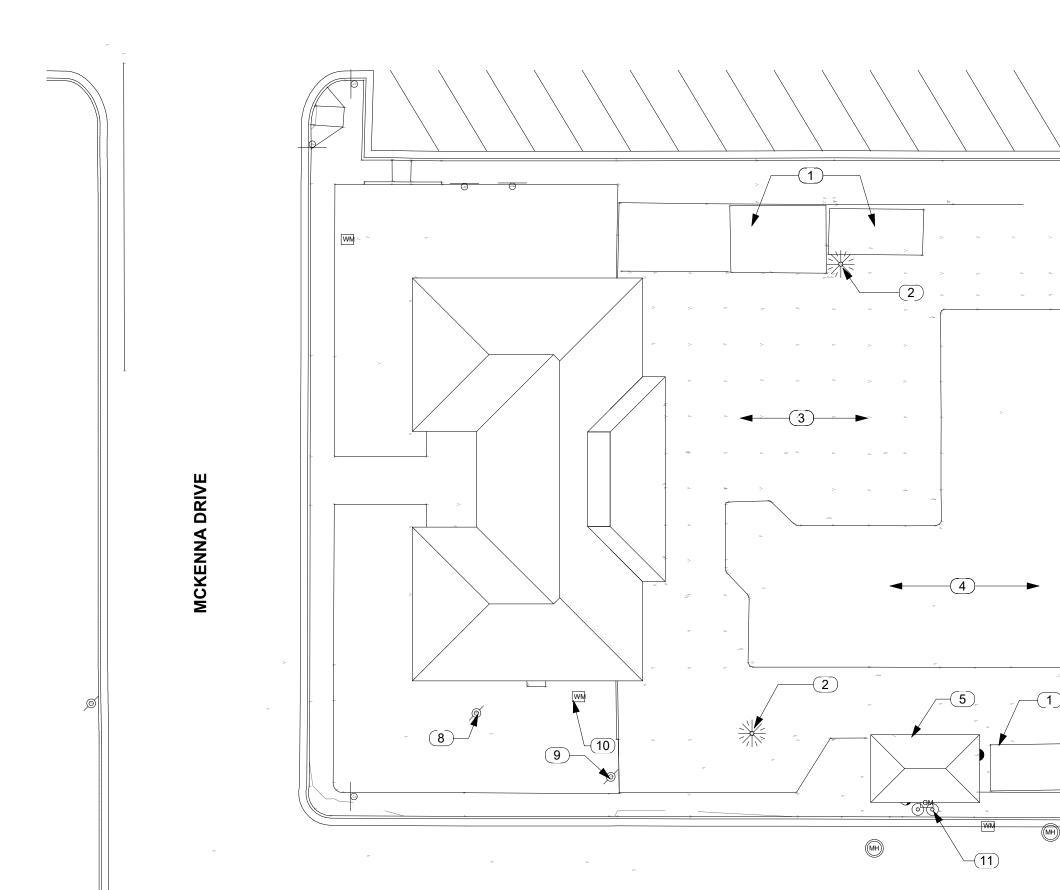
SCHEMATIC DESIGN SITE PLAN

SHEET NUMBER

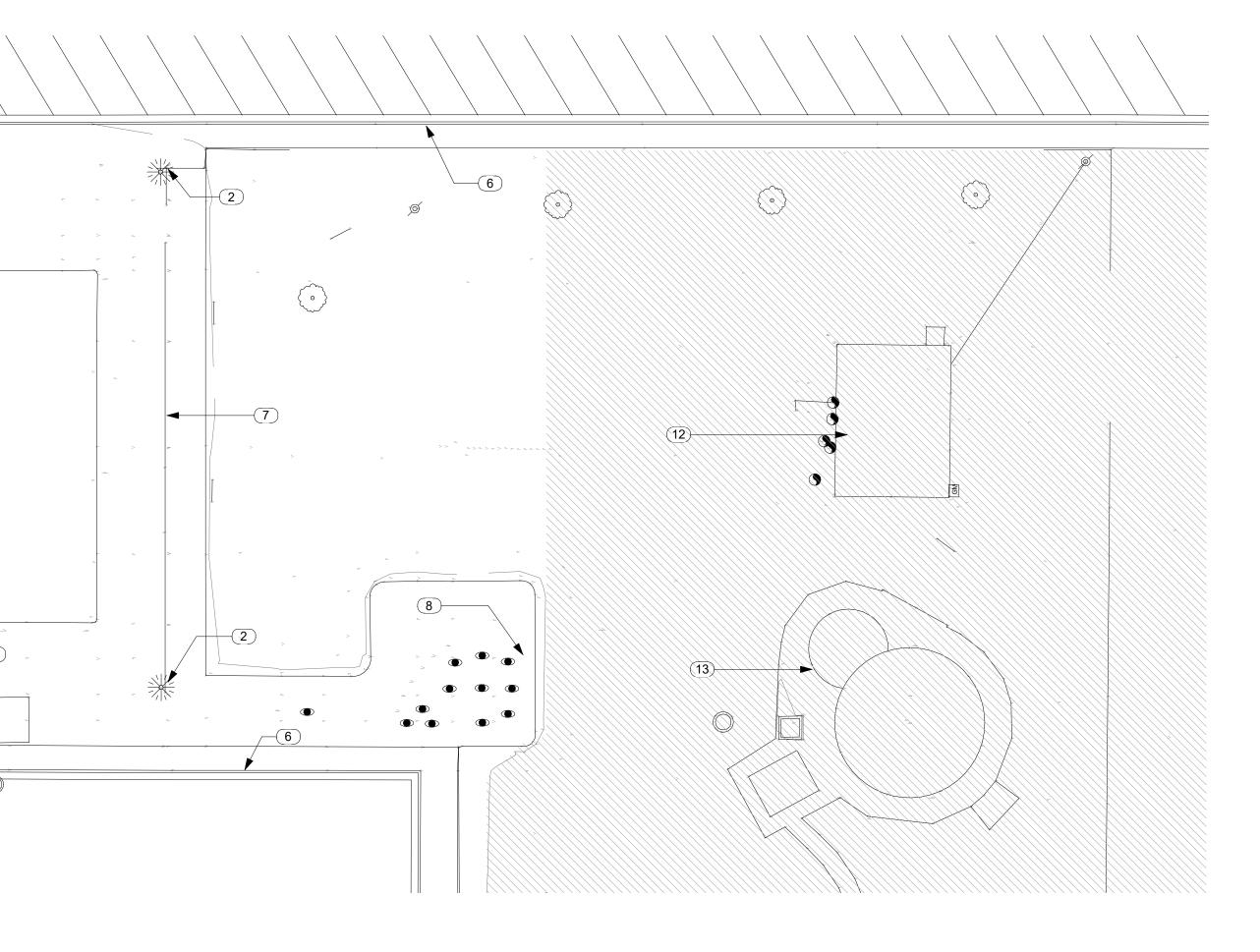
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DEMOLITION SITE PLAN SCALE | 1" = 20'-0"



#### **E 10TH NORTH STREET**



#### E 10TH NORTH STREET

## **GENERAL NOTES**

- A. BEFORE PROCEEDING TO LAY OUT THE WORK, VERIFY LAYOUT INFORMATION SHOWN ON DRAWINGS, IN RELATION TO THE PROPERTY SURVEY AND EXISTING BENCHMARKS. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- B. ENGAGE A LAND SURVEYOR OR PROFESSIONAL ENGINEER TO LAY OUT THE WORK USING ACCEPTED SURVEYING PRACTICES.
- C. ESTABLISH BENCHMARKS AND CONTROL POINTS TO SET LINES AND LEVELS AT EACH STORY OF CONSTRUCTION AND ELSEWHERE AS NEEDED TO LOCATE EACH ELEMENT OF THE PROJECT.
- D. ESTABLISH LIMITS ON USE OF PROJECT SITE. IF STAGING AREA IS NOT DESIGNATED ON PLANS, THEN COORDINATE LOCATION WITH OWNER.
- E. ESTABLISH DIMENSIONS WITHIN TOLERANCES INDICATED. DO NOT SCALE DRAWINGS TO OBTAIN REQUIRED DIMENSIONS.
- F. INFORM SUBCONTRACTORS OF LINES AND LEVELS TO WHICH THEY MUST COMPLY.
- G. CHECK THE LOCATION, LEVEL AND PLUMB, OF EVERY MAJOR ELEMENT AS THE WORK PROGRESSES.
- H. LOCATE AND LAY OUT CONTROL LINES AND LEVELS FOR STRUCTURES, BUILDING FOUNDATIONS, COLUMN GRIDS, AND FLOOR LEVELS, INCLUDING THOSE REQUIRED FOR MECHANICAL AND ELECTRICAL WORK. TRANSFER SURVEY MARKINGS AND ELEVATIONS FOR USE WITH CONTROL LINES AND LEVELS. LEVEL FOUNDATIONS AND PIERS FROM TWO OR MORE LOCATIONS.

## SITE PLAN SYMBOLS



- AREA OUT OF SCOPE
- NEW BUILDING FOOTPRINT
- NEW HARDSCAPE CONCRETE DRIVE
- NEW LANDSCAPED AREA, RE: LANDSCAPE

PROPERTY LINE

- **BUILDING SETBACK**
- FIRE HYDRANT, RE: CIVIL
- NEW LIGHT POLE, RE: ELECTRICAL

EXISTING TREE TO REMAIN NOTE: PROVIDE TREE PROTECTION FOR DURATION OF CONSTRUCTION

NEW TREE, RE: LANDSCAPE



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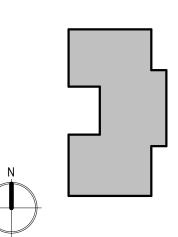
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ISSUES

PHASE	100% SCHEMATIC DESIGN	
DATE	DECEMBER 22, 2020	
JOB NUMBER	20-031	
MARK DATE	DESCRIPTION	

4. EXISTING POOL TO BE REMOVED. RE: CIVIL, ELECTRICAL, & AQUATIC. 5. EXISTING PUMP HOUSE TO BE REMOVED. ALL EQUIPMENT TO BE RETAINED FOR OWNERS FIRST RIGHT OF REFUSAL PRIOR TO DISPOSAL. RE: AQUATIC FOR EQUIPMENT TO BE REUSED AT NEW

**KEY NOTES**(**#**) **DEMOLITION** 

1. REMOVE TEMPORARY STORAGE EQUIPMENT. RETAIN FOR OWNERS

2. SURFACE MOUNTED POLE LIGHT TO BE REMOVED. RE: ELECTRICAL.

RETAIN FOR OWNERS FIRST RIGHT OF REFUSAL PRIOR TO

3. EXISTING POOL DECK TO BE REMOVED. RE: CIVIL, ELECTRICAL, &

PUMP HOUSE LOCATION. 6. EXISTING CHAINLINK FENCE TO BE REMOVED.

FIRST RIGHT OF REFUSAL PRIOR TO DISPOSAL.

- 7. EXISTING WOOD FENCE TO BE REMOVED.
- 8. SPLASH PAD AND EQUIPMENT TO BE DEMOED. CONFIRM WITH OWNER PRIOR TO DEMOLISION OF EQUIPMENT.
- 9. POLE MOUNTED ELECTRICAL TO BE REMOVED AND RELOCATED INTO NEW PUMPHOUSE. RE: ELECTRICAL 10. UTILITY POLE TO BE REMOVED. RE: ELECTRICAL.
- 11. EXISTING WATER METER TO BE RELOCATED OUTSIDE OF NEW PUMP HOUSE FOOTPRINT.
- 12. EXISTING GAS METER TO BE REMOVED AND RELOCATED. RE:
- PLUMBING. 13. PUMP HOUSE TO REMAIN.

DISPOSAL

AQUATIC.

14. KIDDIE POOL TO REMAIN.

## **KEY NOTES** (**#**) **SITE PLAN**

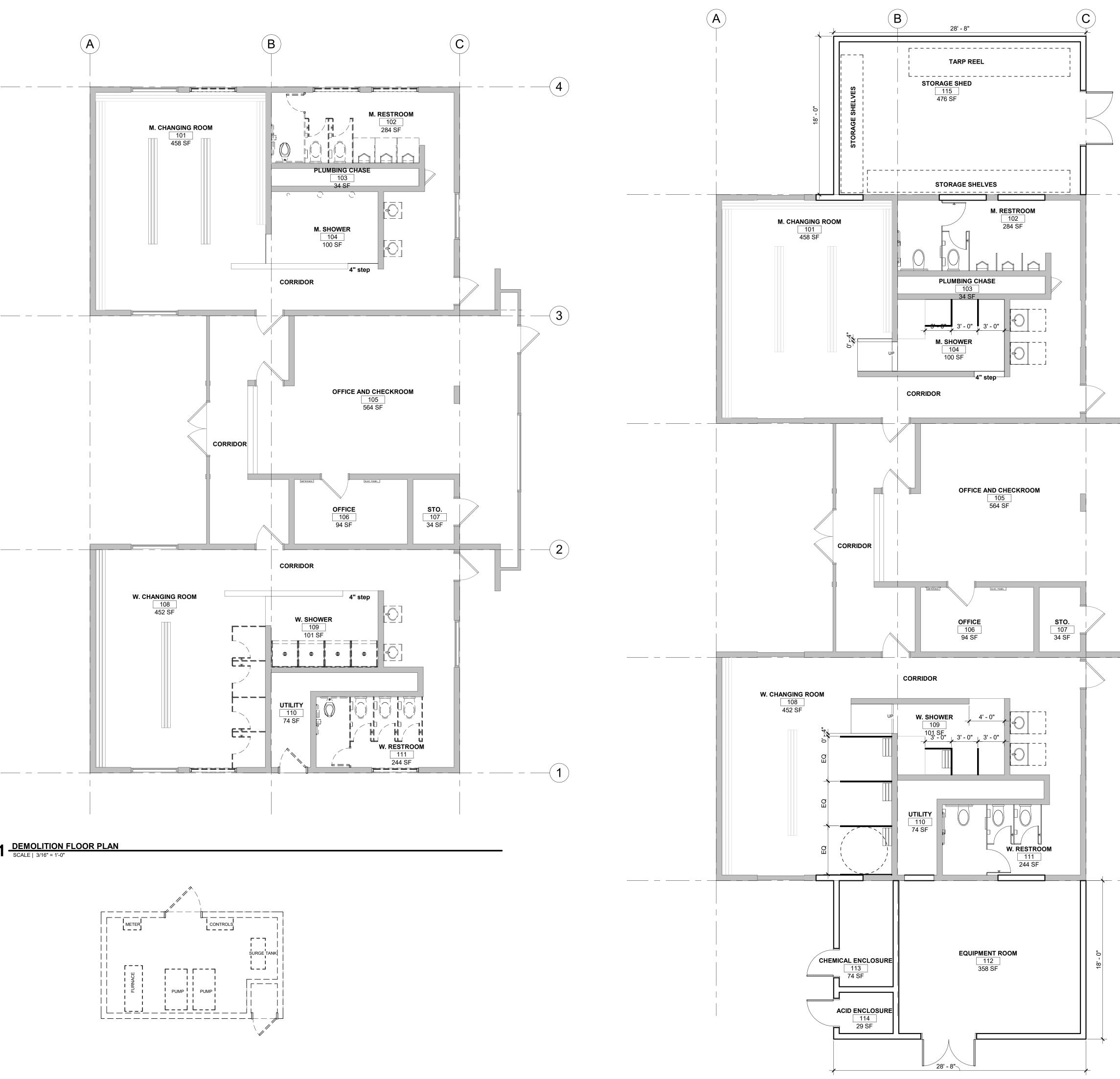
#### 15. ADDITION TO EXISTING BUILDING FOR A NEW PUMP HOUSE LOCATION. 16. ADDITION TO EXISTING BUILDING FOR A STORAGE SHED.

- 17. PRE-FABRICATED SHADE STRUCTURE. OWNER FURNISHED. OWNER INSTALLED.
- 18. OUTDOOR POOL FURNITURE. OWNER FURNISHED. OWNER INSTALLED. 19. NEW POOL DESIGN.
- 20. GALVANIZED CHAIN LINK FENCING WITH GATES. OWNER INSTALLED.

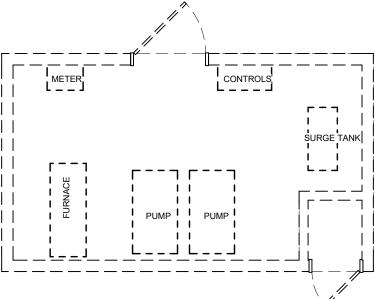
SHEET NAME

SITE PLAN





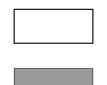
3 FLOOR PLAN SCALE | 3/16" = 1'-0"



## **GENERAL NOTES**

- A. DASHED BOLD LINE INDICATE EXTENT OF DEMOLITION, INCLUDING THE FOLLOWING:
- a. INTERIOR PARTITIONS (REMOVED TO STRUCTURE). b. CEILINGS, INCLUDING CEILING SUSPENSION SYSTEM, MISC.
- STEEL SUPPORTS FOR SUSPENDED EQUIPMENT, SUSPENDED EQUIPMENT, LIGHT FIXTURES, DIFFUSERS AND GRILLES, ETC. c. FLOOR FINISHES (TO CONCRETE) INCLUDING CARPET, RVT,
- SHEET VINYL, CERAMIC TILE, QUARRY TILE, BRICK PAVERS, ETC. d. DOORS AND FRAMES UNLESS OTHERWISE NOTED IN DOOR SCHEDULE.
- e. WINDOW GLAZING AND FRAMES UNLESS NOTED OTHERWISE. f. CABINETWORK, SHELVING, AND BASES.
- g. REMOVAL OF STRUCTURAL ELEMENTS SHALL BE LIMITED TO ONLY THOSE ITEMS SPECIFICALLY INDICATED AS BEING REMOVED.
- B. ALL LIGHTWEIGHT LINES INDICATE EXISTING TO REMAIN. IF SCOPE OF WORK IS NOT CLEAR CONSULT ARCHITECT BEFORE PROCEEDING WITH WORK.
- C. COORDINATE DEMOLITION SCOPE OF WORK WITH REQUIREMENTS FOR NEW WORK. REPAIR ALL INCIDENTAL DAMAGE DONE TO SURROUNDING AREAS THAT DEMOLITION WAS NOT REQUIRED.
- D. WHEN APPLICABLE, COORDINATE DEMOLITION SCHEDULE AND TIMES WITH OWNER AND OCCUPANTS BEFORE PROCEEDING WITH CONSTRUCTION.
- E. REFERENCE SPECIFICATIONS SECTIONS FOR CUTTING, PATCHING, AND DEMOLITION REQUIREMENTS.
- F. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
- G. CONTRACTOR TO VERIFY ALL WALL CONSTRUCTION & FINISHES NOTED FOR REMOVAL, TAKE INTO ACCOUNT ANY DISCREPANCY, AND MAKE PROPER ADJUSTMENT TO ACCOMPLISH REQ'D CONSTRUCTION AND FINISHES. IF STRUCTURAL INTEGRITY IS VIOLATED, CONTACT ARCHITECT. COORDINATE PHASING WITH OWNER.
- H. COORDINATE REMOVAL OF FURNITURE AND EXISTING EQUIPMENT WITH OWNER.
- I. REMOVE FURRING OR GWB ONLY WHERE REQ'D TO COMPLETE CONSTRUCTION. PATCH AND MATCH WALLS AS REQ'D TO COMPLETE AND MATCH EXISTING CONDITIONS, UNLESS AN ALTERNATIVE MATERIAL AND FINISH IS INDICATED.
- J. REMOVE CEILINGS ONLY WHERE REQ'D FOR NEW CONSTRUCTION. REINSTALL, REPLACE, AND PATCH TO MATCH SURROUNDING WALL FINISH.
- K. TEMPORARY DUST PARTITIONS MUST BE DUST TIGHT AND INSULATED W/ R-19 BATTS FOR THERMAL AND SOUND INSULATION. ADDITIONALLY, WHERE EXPOSED TO WEATHER, ADD THE FOLLOWING TO THE EXTERIOR FACE OF THE PARTITION: a. EXTERIOR GYPSUM SHEATHING (OR EXTERIOR GRADE
- PLYWOOD) b. POLY TO FURTHER PROTECT OCCUPANTS. ACTUAL DOOR LOCATIONS AND SIZES ARE AT THE CONTRACTOR'S DISCRETION, BUT MUST BE APPROVED BY OWNER'S REPRESENTATIVE. SEE SPECIFICATION SECTION 01500 FOR ADDITIONAL REQUIREMENTS.
- L. IF ASBESTOS CONTAINING MATERIAL IS SUSPECTED OR ENCOUNTERED, HALT WORK AND NOTIFY ARCHITECT IMMEDIATELY FOR FURTHER DIRECTION.
- M. ALL DAMAGED GWB ON INTERIOR FACE OF EXTERIOR WALLS SHALL BE REMOVED AND REPLACED WITH NEW MATCHING THICKNESS GWB AND VAPOR RETARDER.
- N. CONTRACTOR SHALL ENCLOSE ALL AREAS OF DEMOLITION INSIDE OF THE EXISTING BUILDING (EXCEPT MECHANICAL EQUIPMENT SPACES) FROM FLOOR TO CEILING AND CREATE NEGATIVE PRESSURE WITHIN THE ENCLOSURE TO CONTROL DUST AND VAPORS. HEPA FILTERED AIR MAY BE EXHAUSTED ABOVE THE CEILING.
- O. CONTRACTOR TO COORDINATE WITH OWNER ALL ITEMS TO BE DEMOLISHED AND TO BE SALVAGED. ITEMS BEING SALVAGED TO BE TURNED OVER TO OWNER. SEE SPECIFICATIONS FOR ADDITIONAL SALVAGE REQUIREMENTS.

## **DEMOLITION LEGEND**



**NEW CONSTRUCTION** 

EXISTING, TO REMAIN

**REMOVE / DEMOLISH** 



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(2)

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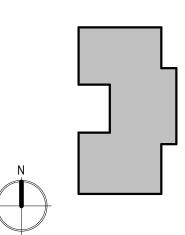
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**PROJECT INFORMATION** 

#### Mountain Home **Aquatic Facility**

160 SOUTH 3RD EAST MOUNTAIN HOME, ID 83647

**KEY PLAN** 



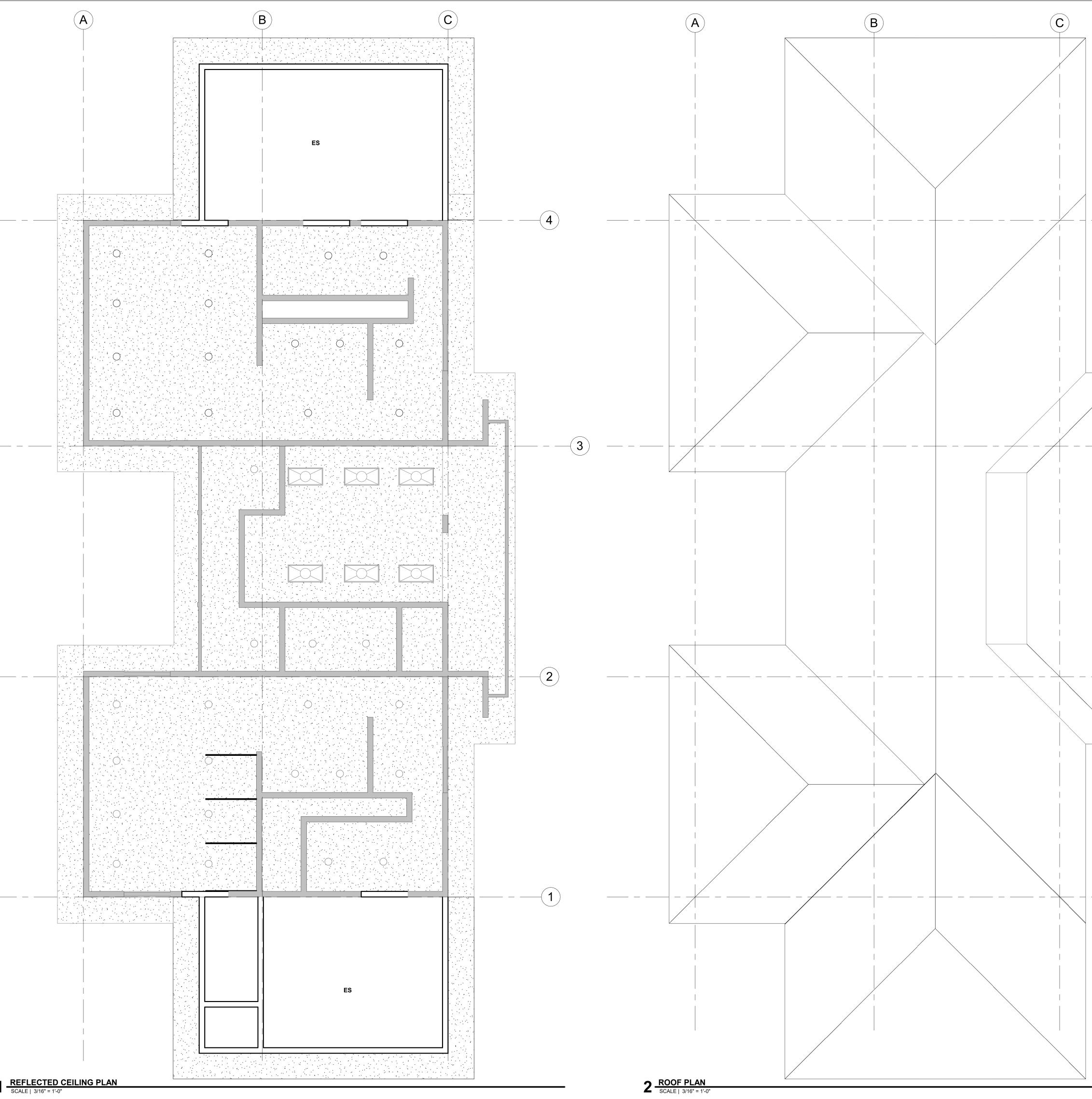
#### ISSUES

HASE	100% SCHEMATIC DESIGN
ATE	DECEMBER 22, 2020
OB NUMBER	20-031
MARK DATE	DESCRIPTION

SHEET NAME

**FLOOR PLAN** 





## **GENERAL NOTES**

(4)

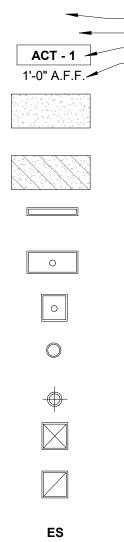
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-(1)

- A. SUBCONTRACTORS FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THEIR WORK MAY OCCUR IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS. ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING DOCUMENTS.
- B. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES OCCUR BEFORE AND/OR DURING CONSTRUCTION.
- C. CROSS REFERENCES SHOWN ON DRAWINGS DO NOT NECESSARILY INDICATE ALL LIKE CONDITIONS AND DO NOT LIMIT APPLICATION OF ANY DRAWING OR DETAIL. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- D. REVIEW SPECIFICATIONS FOR INSTRUCTIONS NOT SHOWN ON DRAWINGS. INFORMATION COMMON TO SEVERAL DRAWINGS MAY BE NOTED ON ONLY ONE. CONTRACTOR IS RESPONSIBLE FOR ENTIRE SET OF DOCUMENTS.
- E. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL ITEMS NOT SHOWN TO BE PROVIDED AT THE CEILING PLANE AND IN THE SCOPE OF WORK. COORDINATE WITH DRAWINGS AND SPECIFICATIONS FOR PHYSICAL SIZE OF ALL CEILING GRILLS, DIFFUSERS, FIXTURES, LIGHTS AND ALL RELATED ITEMS.
- F. DIMENSIONS ARE TO STRUCTURAL GRIDLINE OR FACE OF STUD UNLESS NOTED OTHERWISE.
- G. CENTER ALL CEILING GRID, LIGHT FIXTURES AND SPRINKLER HEADS IN THEIR RESPECTIVE CEILING PANEL. IF NOT DIMENSIONED LOCATE EVENLY AND CENTER IN SPACES. IF UNCLEAR, CONSULT ARCHITECT FOR LOCATION.
- H. INSTALL ALL SUSPENSION SYSTEMS FOR ACOUSTICAL PANEL CEILINGS PER THE SPECIFICATION AND C.I.S.C.A. **"RECOMMENDATIONS FOR DIRECT-HUNG SEISMIC DESIGN** CATEGORY C. REFER TO IBC SECTION 803.9.1.1: SUSPENDED ACOUSTICAL CEILINGS. COMPLY WITH ASTM C635 AND C136.
- I. INSTALL ALL SUSPENSION SYSTEMS FOR GYPSUM BOARD CEILINGS PER THE SPECIFICATIONS AND ASTM C754.
- J. REFER TO ELECTRICAL & MECHANICAL DRAWINGS FOR QUANTITY AND TYPE OF LIGHTS, SPEAKERS, DETECTORS, POWER OUTLETS, DIFFUSERS, RETURN AIR GRILLES, EXHAUST GRILLES, ETC. SCRIBE CEILING MATERIALS CAREFULLY FOR A TIGHT FIT.
- K. REFER TO MECHANICAL DRAWINGS FOR QUANTITY AND TYPE OF . SCRIBE CEILING MATERIALS CAREFULLY FOR A TIGHT FIT.
- L. COORDINATE ALL ACCESS PANEL LOCATIONS WITH STRUCTURAL FRAMING AND CEILING SYSTEMS TO ACCOMMODATE SIZES INDICATED.
- M. ALL GYPSUM BOARD CEILINGS TO BE TEXTURED AND PAINTED UNLESS NOTED OTHERWISE.
- N. ALL EXPOSED METAL DECK, CONDUIT, DUCTWORK, JOISTS, AND MISCELLANEOUS ITEMS ARE TO BE PAINTED, UNLESS OTHERWISE NOTED.
- O. REFER TO ROOM FINISH SCHEDULE FOR CEILING HEIGHTS AND MATERIAL LOCATIONS.
- P. PROVIDE GYPSUM WALL BOARD AND METAL STUD BULKHEADS WHERE CEILINGS OF DIFFERENT HEIGHTS ABUT. DO NOT BUILD BULKHEADS OF ACOUSTICAL CEILING MATERIALS UNLESS SPECIFICALLY DETAILED.

## **RCP SYMBOL LEGEND**



CEILING TAG ROOM NAME ROOM NUMBER - CEILING TYPE HEIGHT **GYPSUM BOARD CEILING - PAINTED** 

FIRE RATED GYPSUM CEILING - PAINTED LINEAR LED FIXTURE, RE: ELECTRICAL 2X4 LED LIGHT FIXTURE, RE: ELECTRICAL 2X2 LED LIGHT FIXTURE, RE: ELECTRICAL **RECESSED CAN LIGHT, RE: ELECTRICAL** PENDANT LIGHT, RE: ELECTRICAL HVAC /DIFFUSER, RE: MECHANICAL HVAC RETURN, RE: MECHANICAL

EXPOSED TO STRUCTURE



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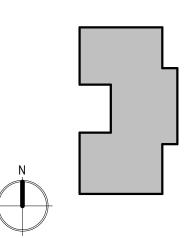
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**PROJECT INFORMATION** 

#### **Mountain Home Aquatic Facility**

160 SOUTH 3RD EAST MOUNTAIN HOME, ID 83647

KEY PLAN



ISSUES PHASE

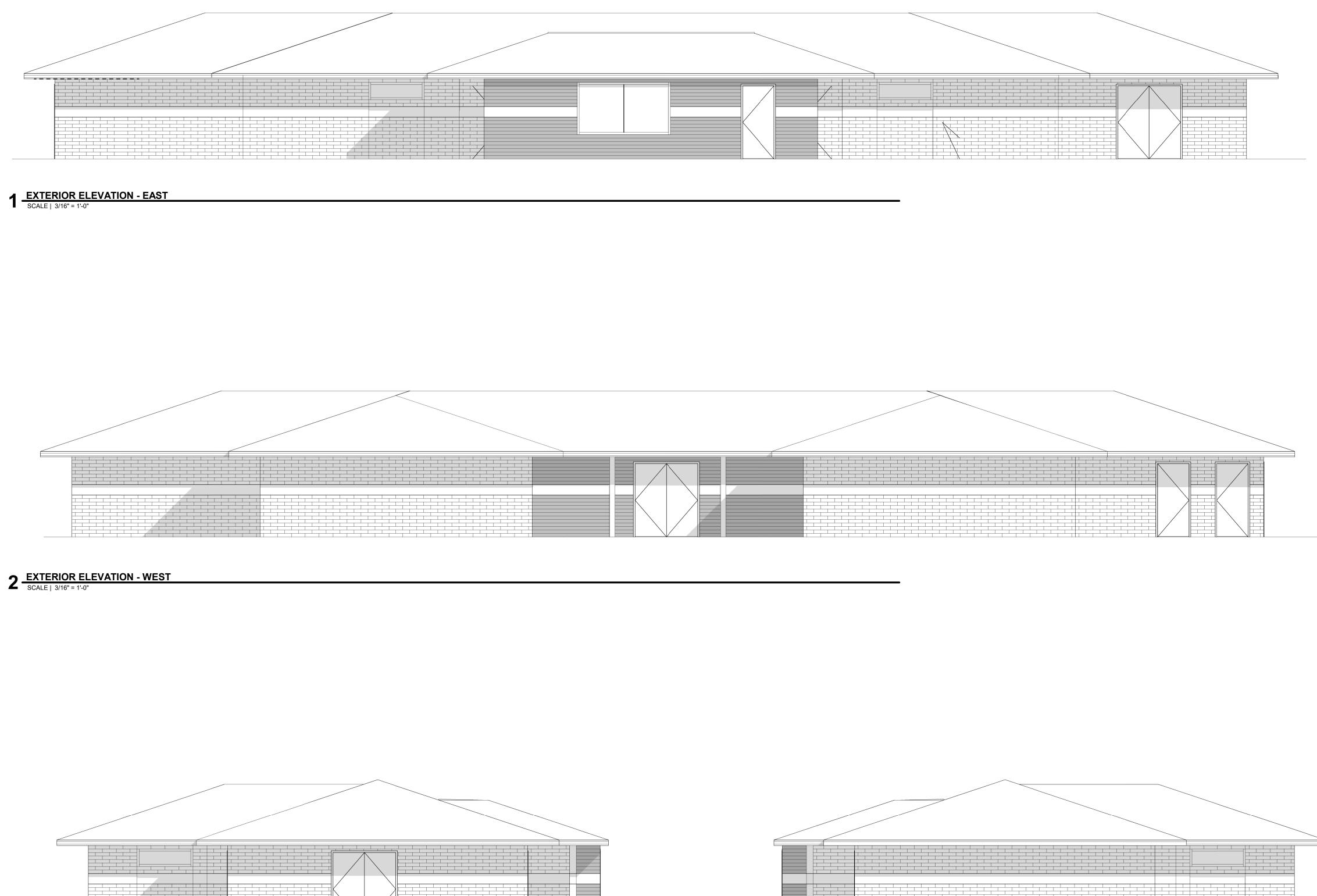
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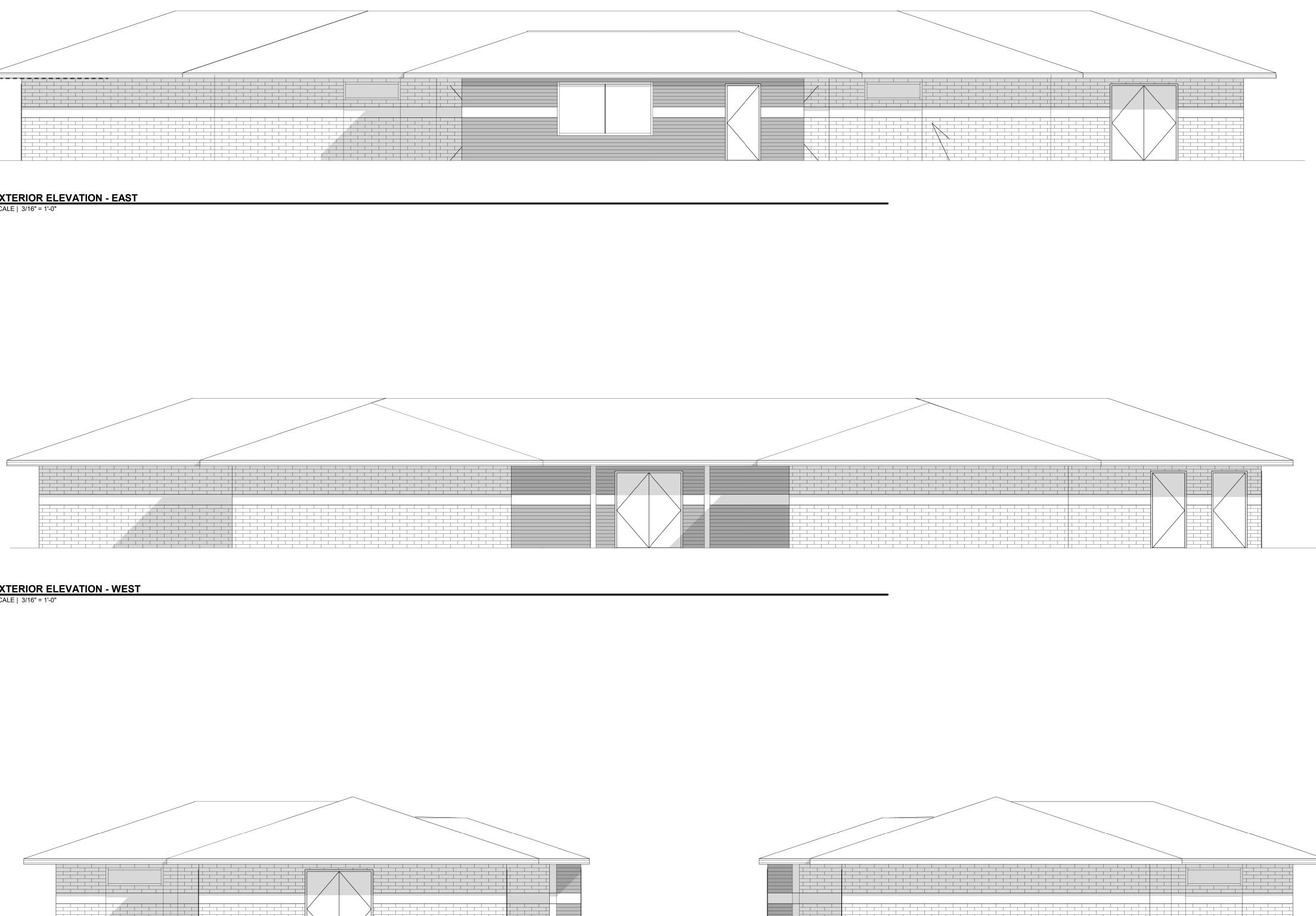
100% SCHEMATIC DESIGN DECEMBER 22, 2020 20-031 JOB NUMBER DESCRIPTION MARK DATE

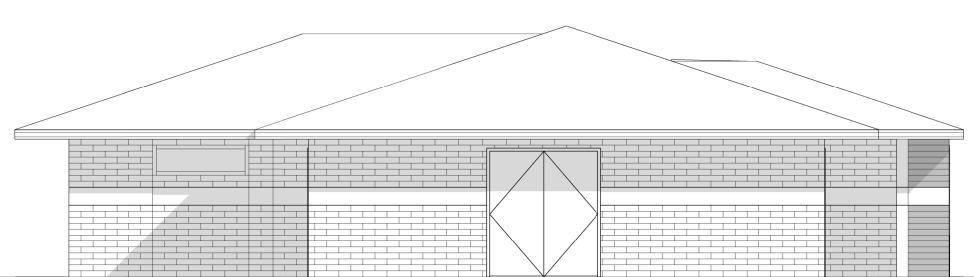
SHEET NAME

REFLECTED **CEILING PLAN/ROOF** PLAN









## 3 EXTERIOR ELEVATION - SOUTH SCALE | 3/16" = 1'-0"

4 EXTERIOR ELEVATION - NORTH SCALE | 3/16" = 1'-0"

## **GENERAL NOTES**

A. GENERAL NOTES APPLY TO ALL DRAWING SETS.

- B. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES OCCUR BEFORE PROCEEDING WITH WORK.
- C. CROSS REFERENCES SHOWN ON DRAWINGS DO NOT NECESSARILY INDICATE ALL LIKE CONDITIONS AND DO NOT LIMIT APPLICATION OF ANY DRAWING OR DETAIL. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK. IF DESIGN INTENT REMAINS UNCLEAR THEN PROVIDE MOST EXPENSIVE OPTION IN BID.
- D. DIMENSIONS ARE TO GRID LINE OR FACE OF STRUCTURAL MEMBER UNLESS OTHERWISE NOTED. DOOR & WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING OR CENTERLINE OF OPENING. CONCRETE AND BRICK DIMENSIONS ARE GIVEN TO THE FACE OF CONCRETE OR MASONRY AND TO THE FACE OF ROUGH OPENINGS.

## MATERIAL LEGEND

KEY NOTES (#)

1. xx



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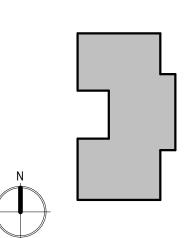
**PROJECT INFORMATION** 

Home

#### Mountain Home Aquatic Facility

160 SOUTH 3RD EAST MOUNTAIN HOME, ID 83647

KEY PLAN



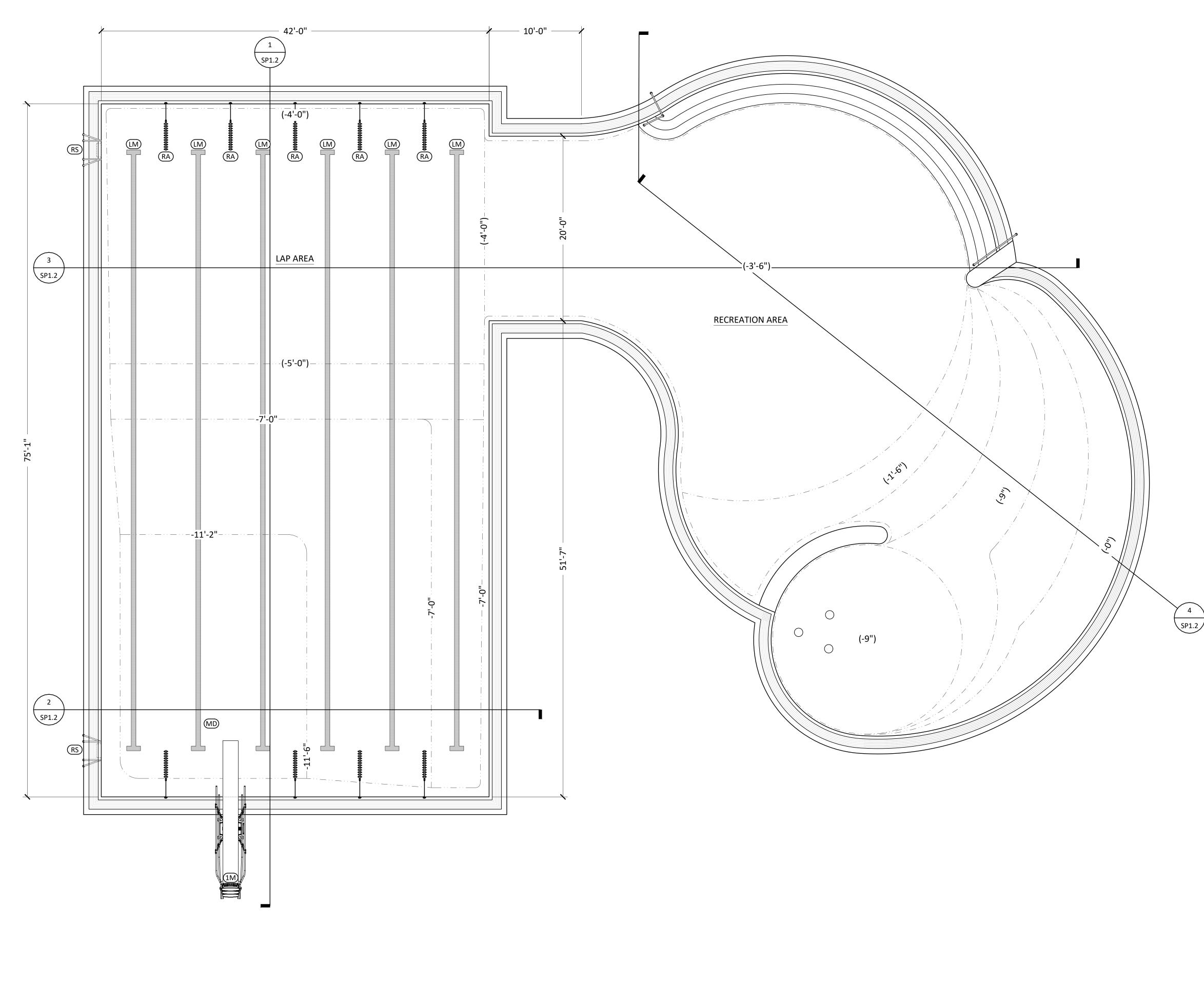
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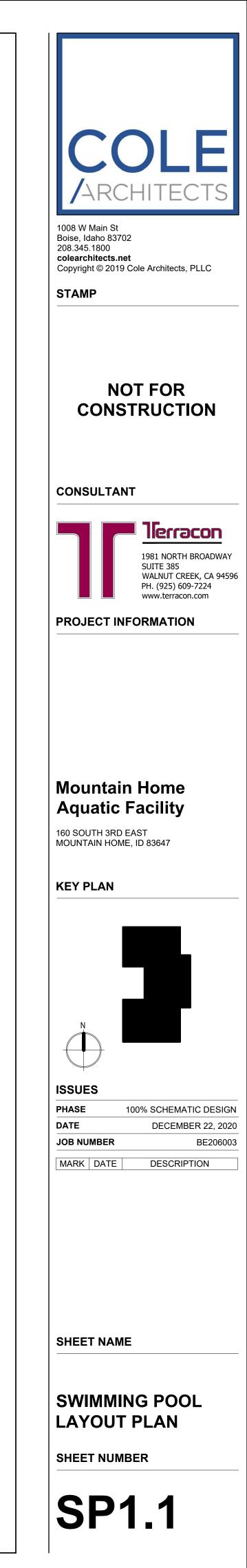
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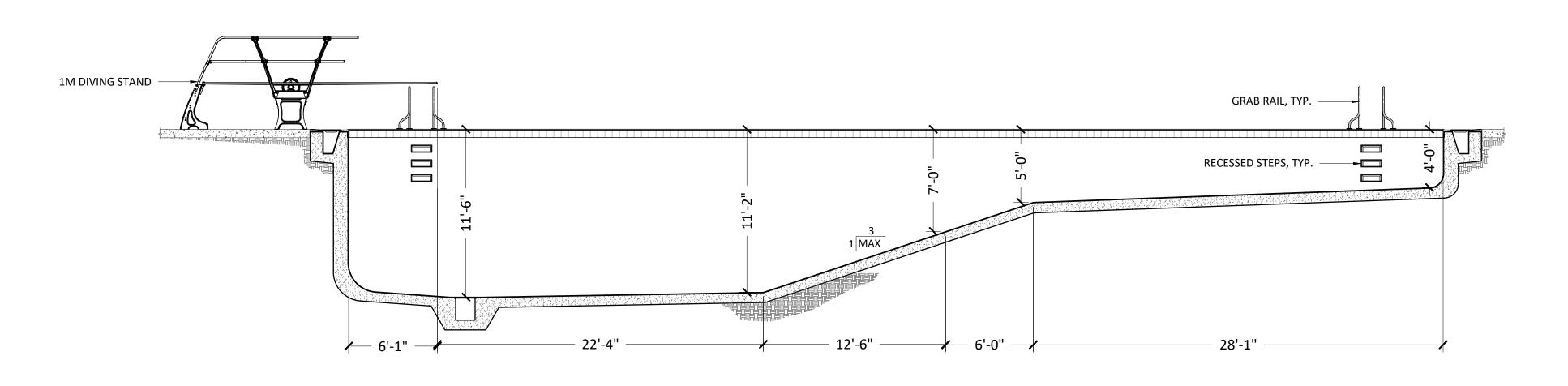
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EXTERIOR ELEVATIONS -OVERALL

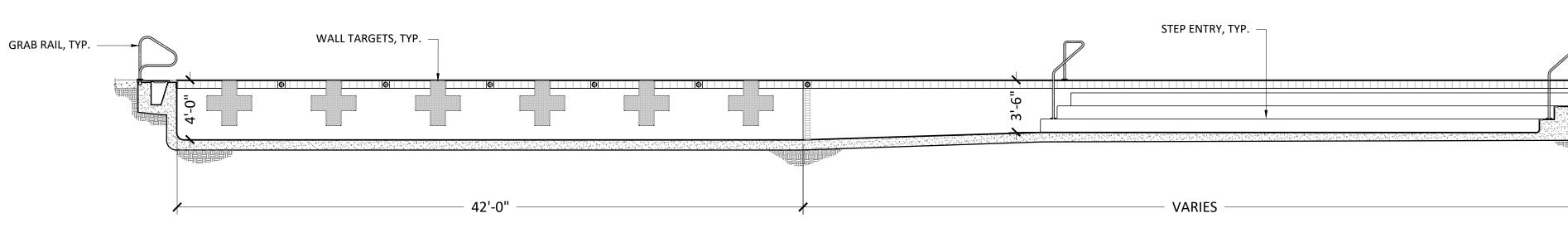


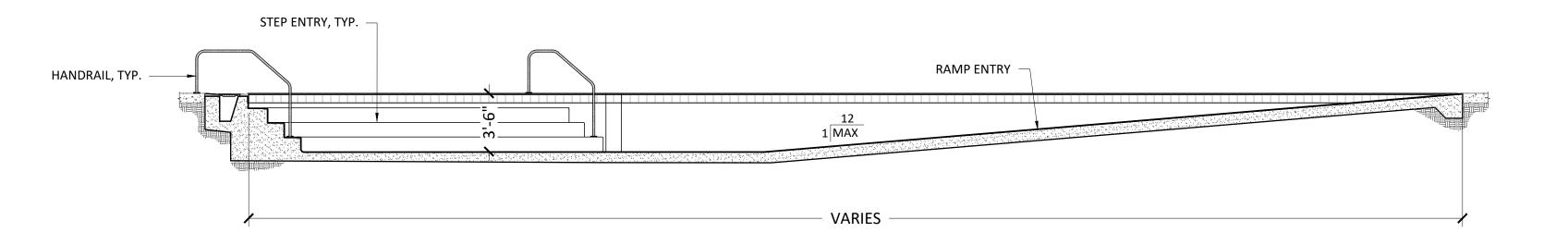




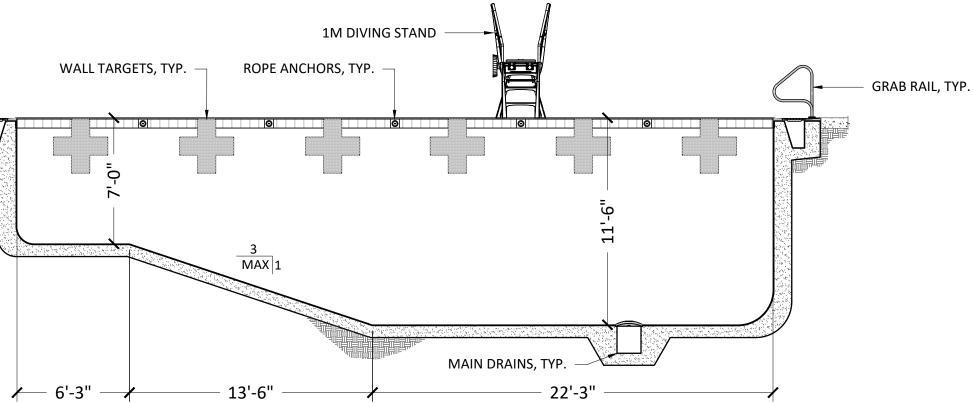


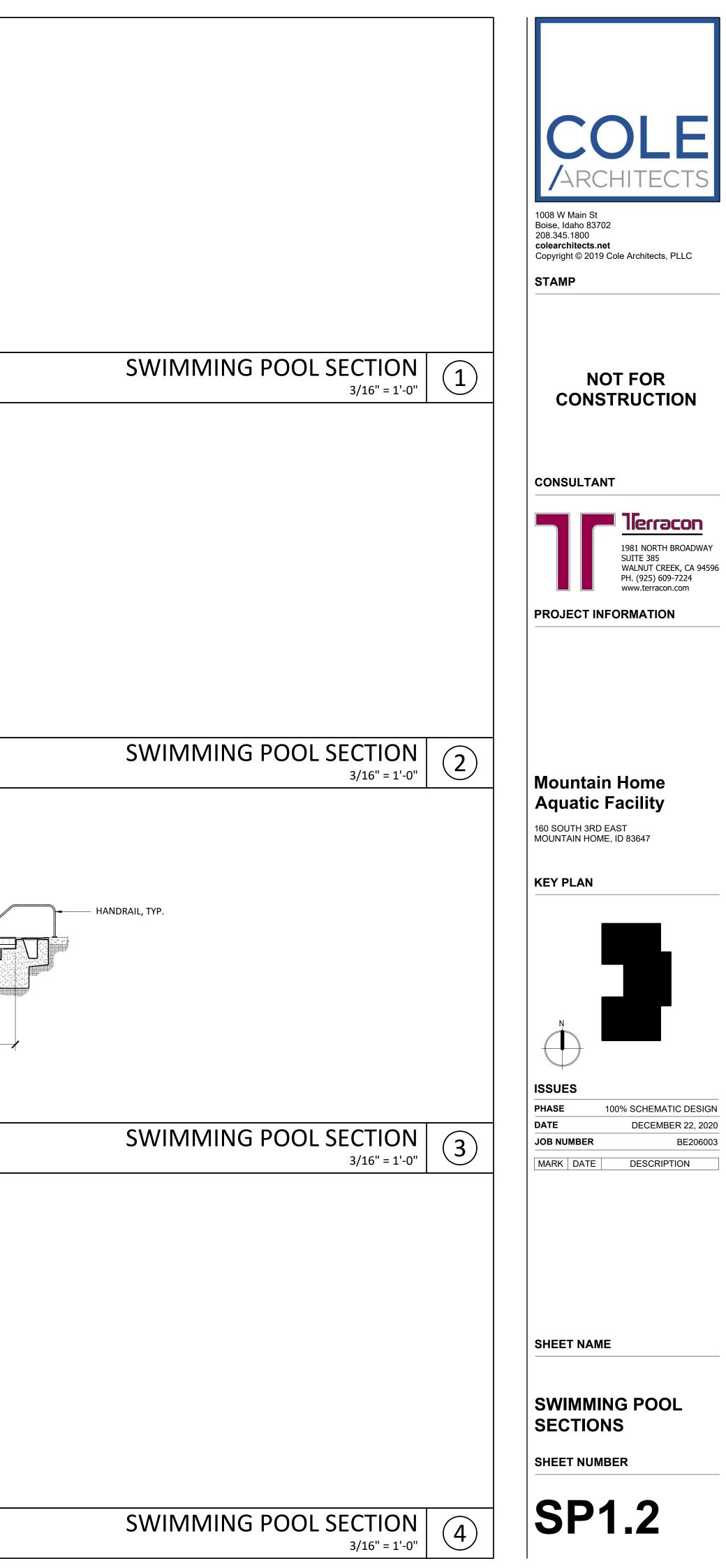


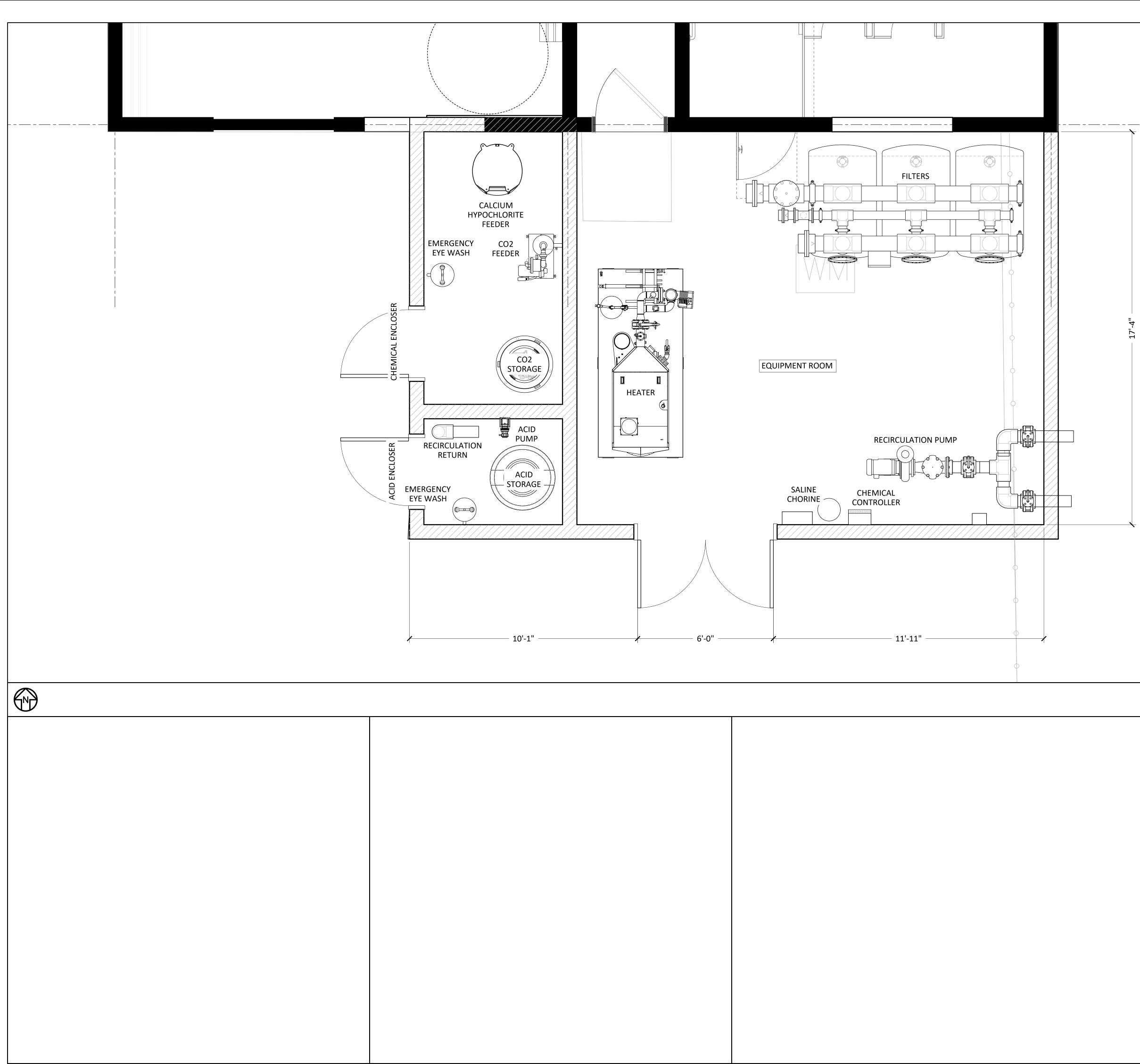




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POOL EQUIPMENT ROOM PLAN 1/2'' = 1'-0'' 1	160 SOUTH 3RD EAST MOUNTAIN HOME, ID 83647
	ISSUESPHASE100% SCHEMATIC DESIGNDATEDECEMBER 22, 2020JOB NUMBERBE206003MARKDATEDESCRIPTION
	SHEET NAME POOL EQUIPMENT ROOM PLAN SHEET NUMBER SP4.0